

PORTOLA CENTER AREA PLAN

CHAPTER SEVEN

COMMUNITY DESIGN GUIDELINES & DEVELOPMENT STANDARDS

- 7.1 PORTOLA CENTER DESIGN PHILOSOPHY**
- 7.2 COMMUNITY VISION**
- 7.3 PROJECT GATEWAYS AND ENTRY DESIGN**
- 7.4 ARCHITECTURAL DESIGN GUIDELINES**
- 7.5 SITE DEVELOPMENT STANDARDS**
- 7.6 COMMUNITY WALLS AND FENCES DESIGN GUIDELINES**
- 7.7 SHARED PARKING AREA DESIGN GUIDELINES**
- 7.8 STREET FURNITURE DESIGN GUIDELINES**
- 7.9 COMMUNITY SIGNAGE AND ADVERTISING GUIDELINES**

The Portola Center Community Design Guidelines and Development Standards are intended to guide to the design of site plans and building architecture for the Project. The development concept for Portola Center consists of residential neighborhoods arranged around the neighborhood Mixed Use Center and park areas. The purpose of the Design Guidelines and Site Development Standards in this Chapter is to ensure that all development within Portola Center will maintain a high standard of design embodied in this Area Plan.

7.1 DESIGN PHILOSOPHY

Portola Center will include a diversity of land uses. Implementation of these Design Guidelines will ensure that Portola Center's finished environment reflects the following design goals:

- Establish a pedestrian-oriented community which reduces the reliance on the automobile by emphasizing connectivity and access through walking, the use of bicycles, and social interaction.
- Create a cohesive community between the Project's various neighborhoods north and south of Glenn Ranch Road.
- Provide a comprehensive approach to pedestrian and recreational elements of the Project.
- Complement the adjacent Portola Hills community by providing single family homes in the northern planning areas of Portola Center.
- Fuse the Project with the surrounding natural environment through coordinated architecture, landscaping, and Project design elements along the Project's perimeter areas.
- Develop a high quality/cohesive design concept that creates a strong community image for Portola Center.
- Provide an innovative and diverse range of housing densities and home types

7.2 COMMUNITY VISION

Portola Center proposes walkable neighborhoods made up of diverse housing types, connective open space linkages and parks, a central Mixed Use Center, and a public 5-acre Community Park. The Regional Park and open space preserve areas which surround the community will be accessed from many pedestrian paseos, parks, and trail system, allowing for a range of recreational experiences from exercise activities to quiet enjoyment of these natural areas and views in the distance.

Portola Center is designed to allow all of the residents of Portola Hills and Portola Center easy access to the open space, parks and views that surround this Planned Community, with particular consideration given to the view potential of the Project's home sites. The community design theme is a simple, yet strong statement which identifies the community with the early California Heritage, a blend of Craftsman, Spanish, Mediterranean, Tuscan, Italianate, and European architectural styles that have evolved in California since the 1700's. The early California Heritage design theme is meant to blend with the existing Portola Hills residential design yet maintain its own community identity. The architectural styles and design of the Project's other residential neighborhoods and internal neighborhood parks should all reinforce the early California Heritage design theme.

A combination of thematic elements will blend the non-residential and the residential areas of the Project with streetscapes, park and common area landscaping, exterior fences and walls, and signage all components of the California Heritage style that unifies the design of Portola Center.

The design criteria and architectural styles contained in this Area Plan are not intended to be overly restrictive or limiting, but instead are meant to assist in the design and creation of a range of high quality, architecturally appealing neighborhoods tied together by a central community design theme. The most visible and strongest interpretation with the highest level of detailing should occur in the Mixed Use Center as the most prominent example of the community design theme.

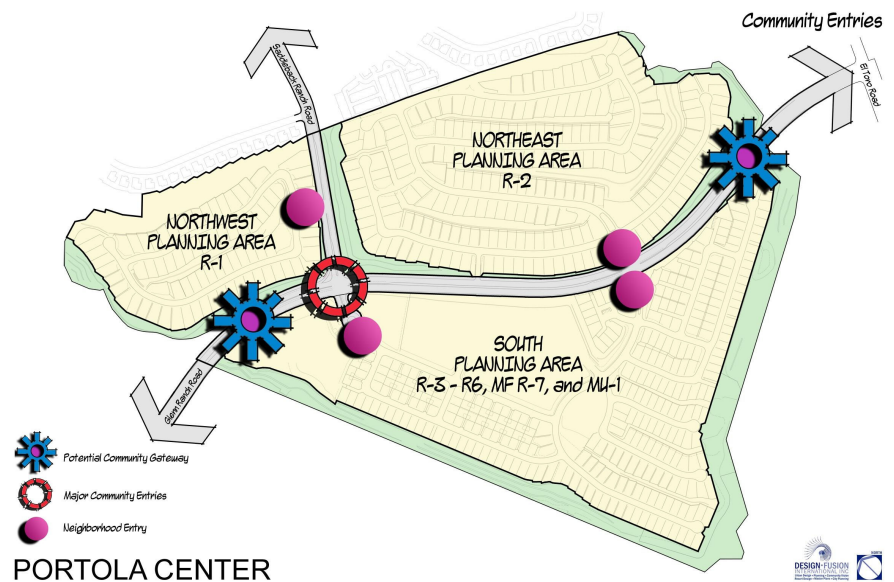
7.3 PROJECT GATEWAYS AND ENTRY DESIGN

Community gateway monuments and community entries can provide an introduction to, and first impression of, the Portola Center and Portola Hills Communities, creating the sense of arrival through the use of landmark monuments, decorative walls, and enhanced landscaping. The Portola Center Project proposes two major community entries that identify the broader area of the Portola Hills and Portola Center Communities and secondary neighborhood entries that relate to the specific neighborhoods of Portola Center. The Project also proposes potential community gateway monuments that would be along the western and eastern entrances into the larger Community of Portola Hills along Glenn Ranch Road. Exhibit 7-1, also presented in Chapter 4, below identifies potential locations for these community gateways and the proposed community entries and neighborhood entries. Exhibit 7-2 depicts a potential conceptual design of a gateway monument. Exhibits 7-2 through 7-5 depict conceptual designs in elevation and plan view of proposed community entry monuments at the Intersection of Saddleback Ranch Road and Glenn Ranch Road. Exhibits 7-6 through 7-9 provide elevation and plan view conceptual designs of the four neighborhood entries of the Portola Center Project.

The most identifiable elements of the community entry into Portola Center are the 5-acre Community Park on the southwest corner and the Mixed Use Center on the southeast corner of the Glenn Ranch Road/Saddleback Ranch Road intersection. This park is strategically placed for community and city-wide access and to promote the Project's views and the surrounding open space setting. The community entry concept for Portola Hills is proposed at the northeast corner of the intersection. The proposed design concept includes a Portola Hills community sign, an iconic Coast Live Oak specimen tree, decorative pedestrian scale walls, and a set of trellises as pedestrian gateways to the community and neighborhoods to the north.

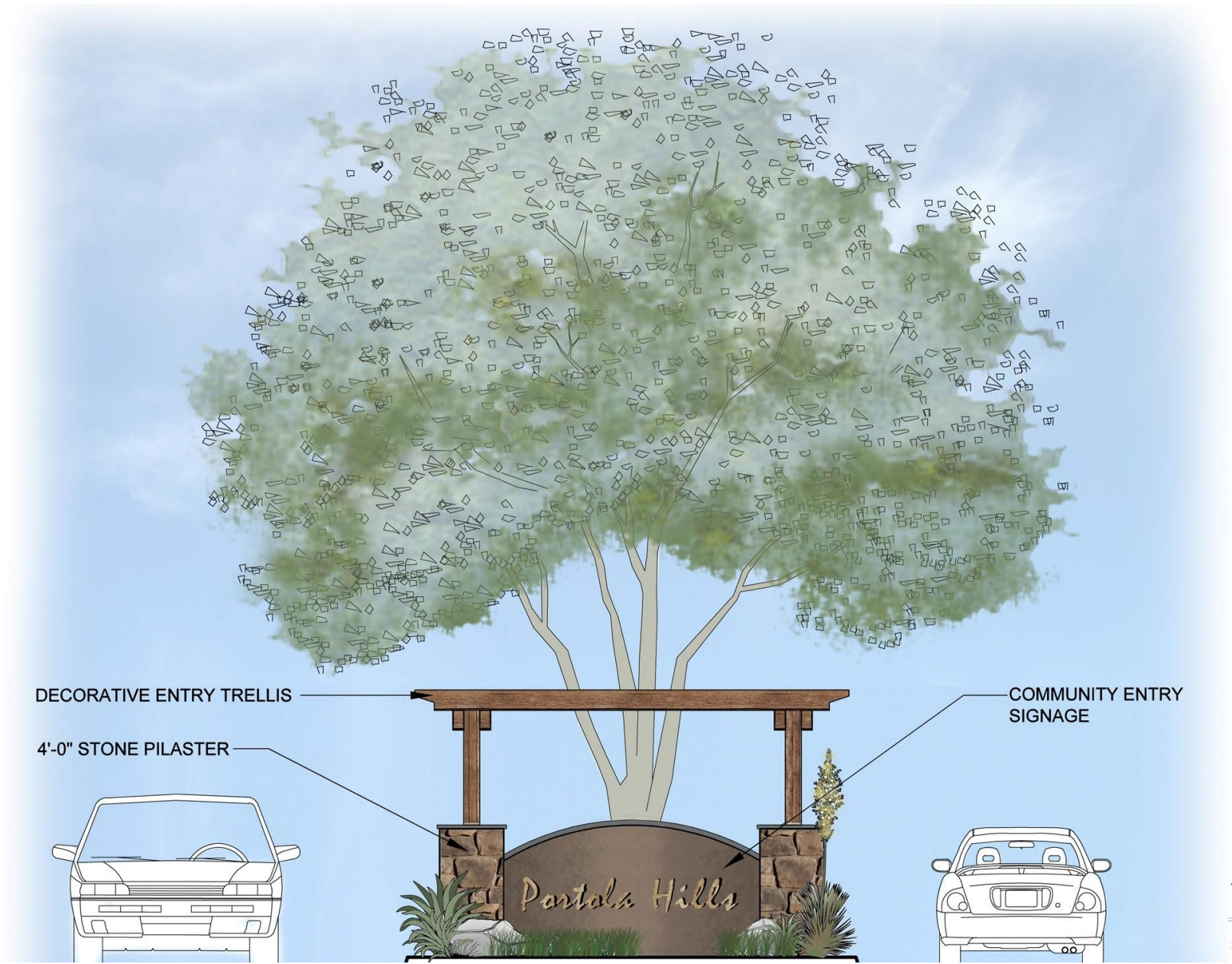
Portola Center's Neighborhood Entries are located along Saddleback Ranch Road, Glenn Ranch Road, and internal to the Project site near the entrance to the 5-acre Community Park. These entries will use design elements which reflect those used in the community entries and serve as the introduction to the community vision for the landscape and architectural design of the Project.

The primary design goals of the community gateways and community entries are to incorporate natural and structural elements that fit with the rural aspects of the Portola Hills and Trabuco Canyon area while also creating the foundation for connecting the surrounding area with the new community of Portola Center and the existing community of Portola Hills. To achieve this, organic materials such as wood, stone, identifying plant and tree specimens, and decorative walls with color tones that blend with the natural environment should be used to reinforce the rural aspects of the area while also providing a visual connection to the built environment of the area with its surrounding natural environment.



**Exhibit 7-1
Portola Center Community & Neighborhood Entries**

The final design for the Portola Hills Community Entry and potential community gateways will be implemented through the City's Planned Sign Program with the input of the community and the City. The concept designs included in this Area Plan are meant only for illustrative purposes to provide guidance on what the design elements these community gateways and entry monuments could ultimately include.



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**Exhibit 7-2
Potential Community Gateway Monument Concept**

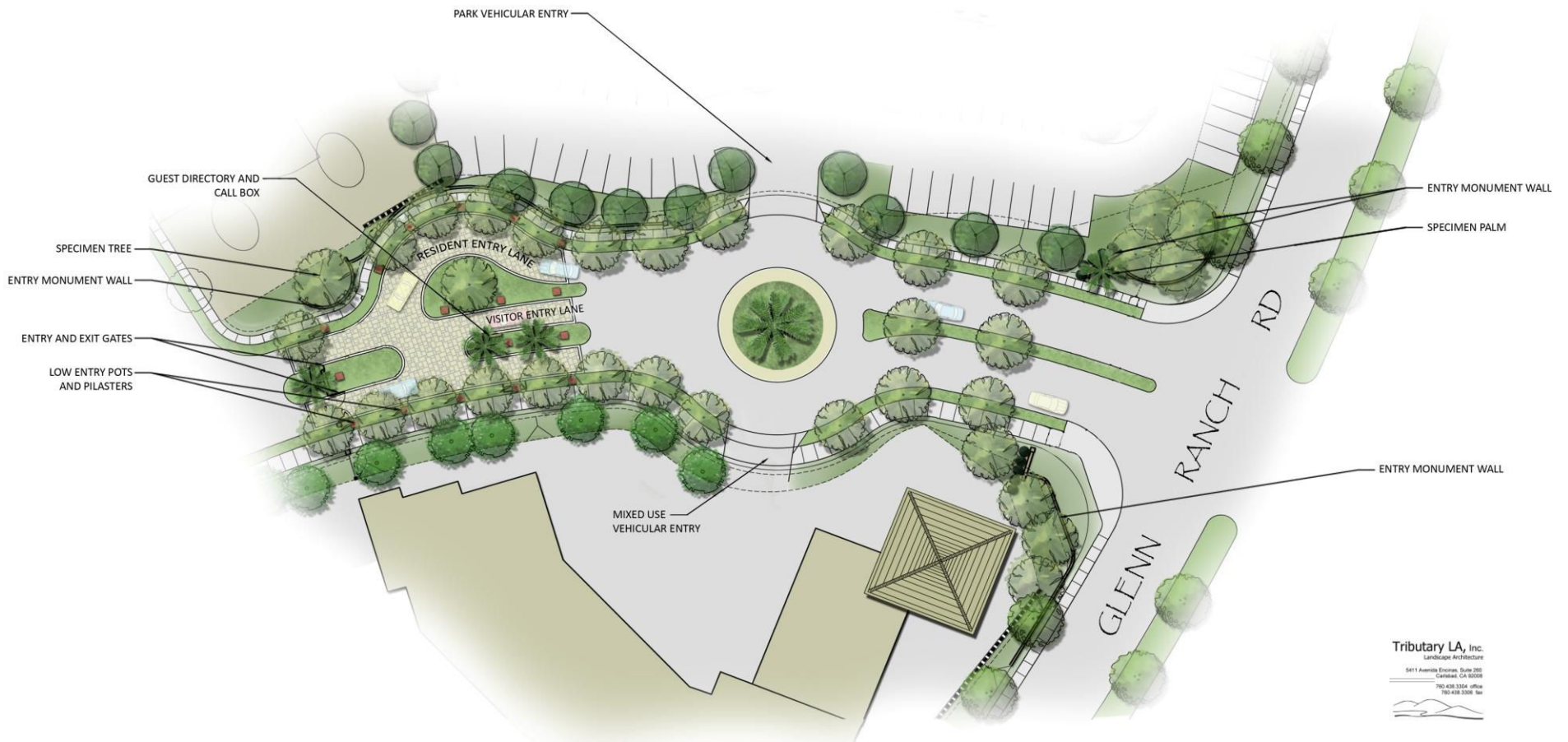


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Exhibit 7-3
Portola Hills Community Entry Concept (@Northeast Corner of Saddleback & Glenn Ranch Road Intersection)



Exhibit 7-4
Portola Center Community Entry—Elevation View (@South Leg of Saddleback & Glenn Ranch Road Intersection)



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Exhibit 7-5
Portola Center Community Entry –Plan View (@South Leg of Saddleback & Glenn Ranch Road Intersection)



Exhibit 7-6
Portola Center Neighborhood Entry—Elevation View (Southwest Village Entrance)

(NOTE: See Exhibit 7-5 for Plan View of Southwest Village Neighborhood Entry)



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Exhibit 7-7
Portola Center Neighborhood Entries—Elevation Views (Northwest and Northeast Village Entrances)

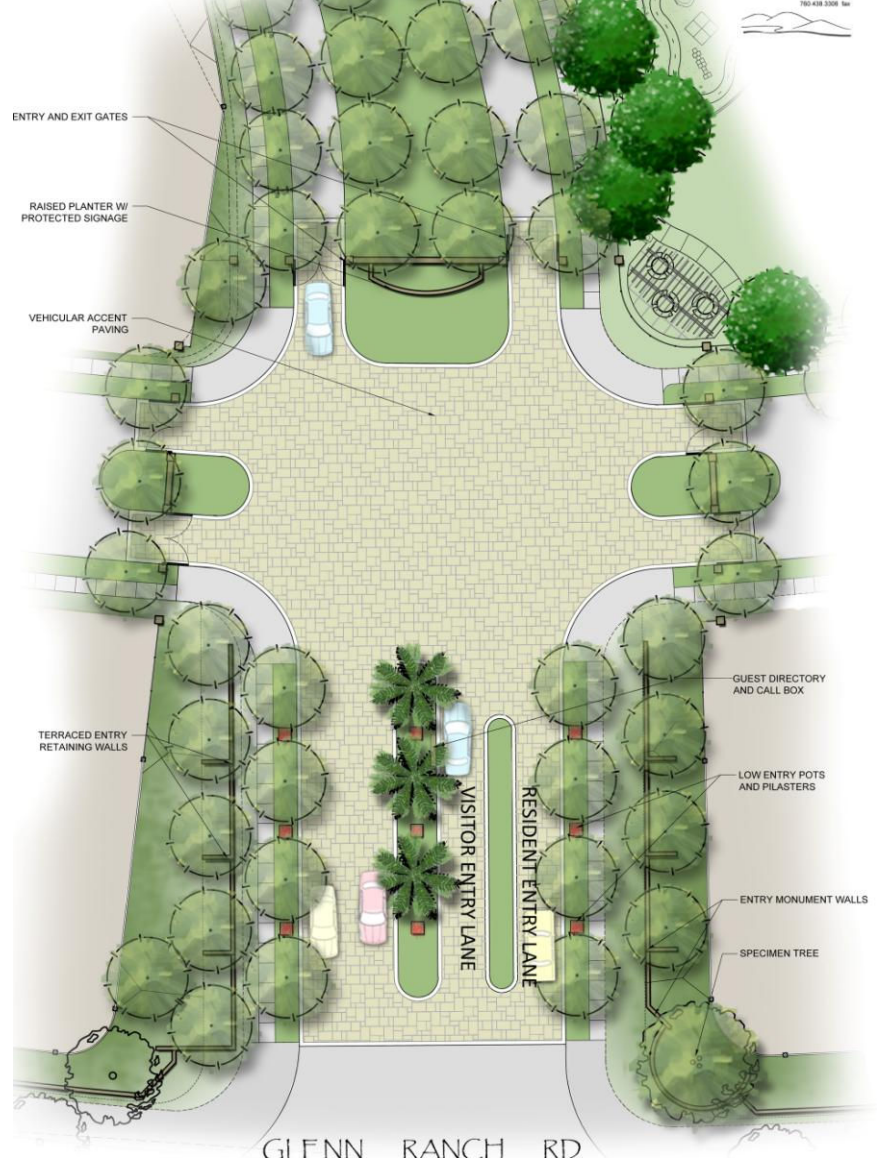


Exhibit 7-8
Portola Center Neighborhood Entries—Plan Views (Northwest and Northeast Village Entrances)



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Exhibit 7-9
Portola Center Neighborhood Entry—Elevation & Plan Views (Southeast Village Entrance)

7.4 ARCHITECTURAL DESIGN GUIDELINES

The goal of the architectural design guidelines is to provide general design criteria and guidance. The guidelines promote variety in a community setting while maintaining visual compatibility by utilizing high quality architectural design. Residential Design Guidelines are provided for the Single-Family detached homes, both conventional and non-traditional, and the Multi-Family residential neighborhood. Non-Residential Design Guidelines are provided for the Mixed Use, Retail and other community buildings within the Project. Accordingly, the guidelines and development standards are intended to be flexible and to guide the special design considerations which will arise over time, accommodating the changes in lifestyles, economic conditions, consumer preferences, community desires, and the residential and commercial marketplaces. With the development of each Project component, the Design Guidelines help to ensure that the quality and fundamental concepts established at the community design level are maintained all the way through the design and construction of individual sites and buildings within the Project. Within the Design Guidelines, the term "shall" is used to establish the required design elements and features, and the term "should" is used to establish the preferred design elements and features such that alternative measures which meet or exceed the intent of the Guidelines may be used.

The architectural styles chosen for the portions of the project are closely associated to styles that have evolved in California over many decades. The criteria and architectural styles are not intended to be restrictive, but are meant to assist in achieving a high level of design quality. The application of the details and character of the architectural styles should be as authentic as possible. Plotting and massing of the homes is intended to provide a variety in appearance as well as a sense of individuality for each detached single family home.

To implement the Project's overall design vision at the architectural level, the following guidelines shall apply:

SITE PLANNING (ALL NEIGHBORHOODS):

- Mount mechanical and electrical equipment, utility connections, and antennas within the interior of a building whenever practical. When interior mounting is not practical, screen mechanical equipment from view whenever possible. If the mechanical equipment is ground mounted, screen the equipment with the use of walls, fences, or landscaping compatible with the building architecture.
- Encourage the use of variation in architectural styles, front and side yard elevations, setbacks, and building massing and variety and reversal of floor plans, where feasible, along residential streets.
- Maximize view potential through the use of building orientation and maintain privacy for residential buildings adjacent to natural open space and recreation areas with the use of landscaping and fencing.
- Orient the front doors of single family homes and multi-family buildings along the "Promenade Street" toward the street whenever possible. Residential parcel edges adjacent to the "Promenade Street" shall orient the front elevations and front doors of single family homes and multi-family buildings toward the street to the extent practical. With the exception of patio walls up to forty-two (42") inches high, rear and side yard walls in this condition may only be located between buildings. In the cases where non-front elevation of a single family home of a multi-family building must face the "Promenade Street", that elevation shall be treated with architectural elements and window trimming consistent with the buildings front elevation. Building articulation and/or staggering, roof plane breaks, hip roofs, and accent colors are also encouraged

SITE PLANNING (MIXED USE CENTER):

- Provide well-articulated, identifiable entry sequences for the pedestrian and vehicular users at the Mixed Use Center and Multifamily Neighborhoods.
- The courtyards and plazas closest to the highest use pedestrian areas shall have the highest level of design detail

BUILDING FORM AND MASSING:

- Organize the overall massing of each building as a whole unit to avoid the building appearing as a mixture of unrelated forms.
- Set back certain parts of the second story front elevation plate lines from first story elevations to help break up monolithic building mass, where practical.
- Residential areas oriented toward pedestrian activity should be designed at a “human scale”.
- Locate multi-family buildings no closer than five feet to the top-of-slope edge of pad, or incorporate the slope into the building design by use of a lowered front portion(s) of the building, entry steps and walls, or other acceptable design techniques

BUILDING APPEARANCE:

- Roof forms, windows, entries and doors shall aesthetically complement each other and reflect the architectural style of the building.
- Second floor pedestrian spaces shall incorporate outdoor living spaces to open up to views as much as possible.
- Design gutters and downspouts as continuous architectural features that fit with the building’s architectural style and match the surface or accent color of the building. Integrate down spouts within the Mixed Use Center into the façade of the structure(s).
- Design all appurtenant structures (balconies, trellises, patio covers, sunshades, awnings, gazebos and similar) to be consistent with the primary structure.
- Use architectural projections to building facades to provide visual interest and avoid a repetitive appearance.
- Design non-residential buildings (e.g., the HOA Recreation Center building(s) and recreation concessionaire, and restroom facilities in the 5-acre Park) with an architectural style that is compatible with the architectural style(s) of the neighborhoods in their immediate vicinity and with the overall design theme of the Project. These buildings can incorporate architectural elements that fit with the residential setting of the Project while also emphasizing their fundamentally non-residential nature. For example, the buildings in the 5-acre Park should be designed using an architecture style that is generally consistent with the architectural style used for the Mixed Use Center.

7.4.1 ARCHITECTURAL THEMES

Homes within each neighborhood will reflect a variety of architectural themes or styles will be used to create a community that looks as if it has been developed over time, rather than all at once. Several architectural styles are suggested as models for development at Portola Center. Each style includes ideas from which a contemporary version may be derived. The selected styles are intended to provide direction to the architect, while allowing latitude in the interpretation of the style through use of the style elements listed. The styles represented are not intended to be prescriptive, but are intended to provide inspiration and encouragement. Contemporary versions of these styles may appear different from the sketch examples shown. However, contemporary interpretations should use many of the style elements illustrated to create buildings that contain sufficient characteristics so that the chosen style is evident. Emphasis should be placed on the building form, articulation, elevations, and key architectural elements such as the roof style and pitch, windows, defining features such as columns or stone work, and facades to denote the chosen architectural style.

Craftsman, Monterey, European Cottage, European Estate, Italianate, Spanish Revival, and Old Santa Barbara are all appropriate architectural styles that are derived from the historical styles of early California Heritage. The historical basis for these styles should not be interpreted as a mandate to create an

exact replica. The styles include specific design characteristics that should be selected from to design a contemporary building. These styles are discussed in more detail below.

CRAFTSMAN

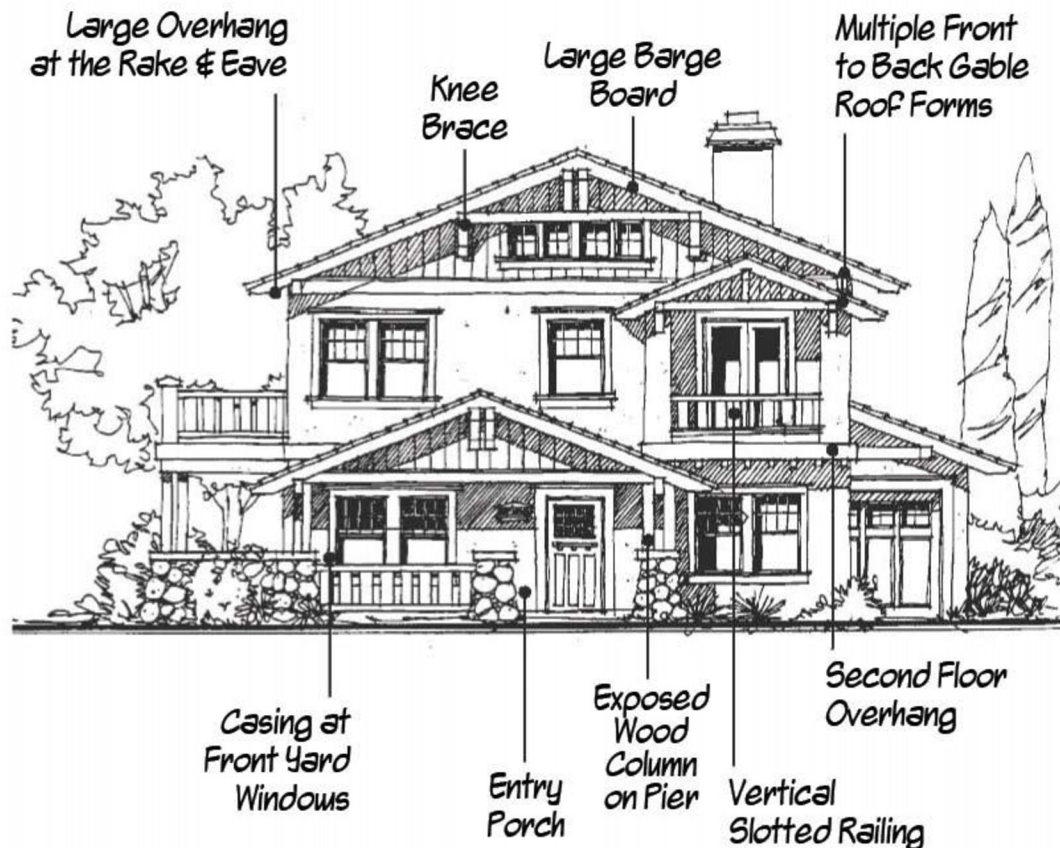
The Craftsman style was inspired by the English Arts and Crafts Movement of the late 19th century. The style stressed the importance of insuring that all exterior and interior elements receive both tasteful and artful attention. The resulting Craftsman style responded with extensive built-in elements and by treating details such as windows or ceilings as if they were furniture. The overall affect was the creation of a natural, warm and livable home.

The style is further characterized by the rustic texture of the building materials; broad overhangs with exposed rafter tails at the eaves and trellises over the porches. In Southern California, the Craftsman style spun out of the Bungalows that were the production home of the time. This type of architecture can be found in the classic tree-lined neighborhoods of many Southern California cities. This unique predominant look promotes hand crafted quality; thus the name Craftsman.

Craftsman Design Characteristics

The design characteristics provide essentials for massing, scale and proportion, and building materials for understanding this particular style. They are:

- Gently pitched roofs
- Projecting gable ends and exposed rafters
- Wood columns on Pier
- Porches with supporting stone or brick veneer bases
- Siding as an accent



MONTEREY

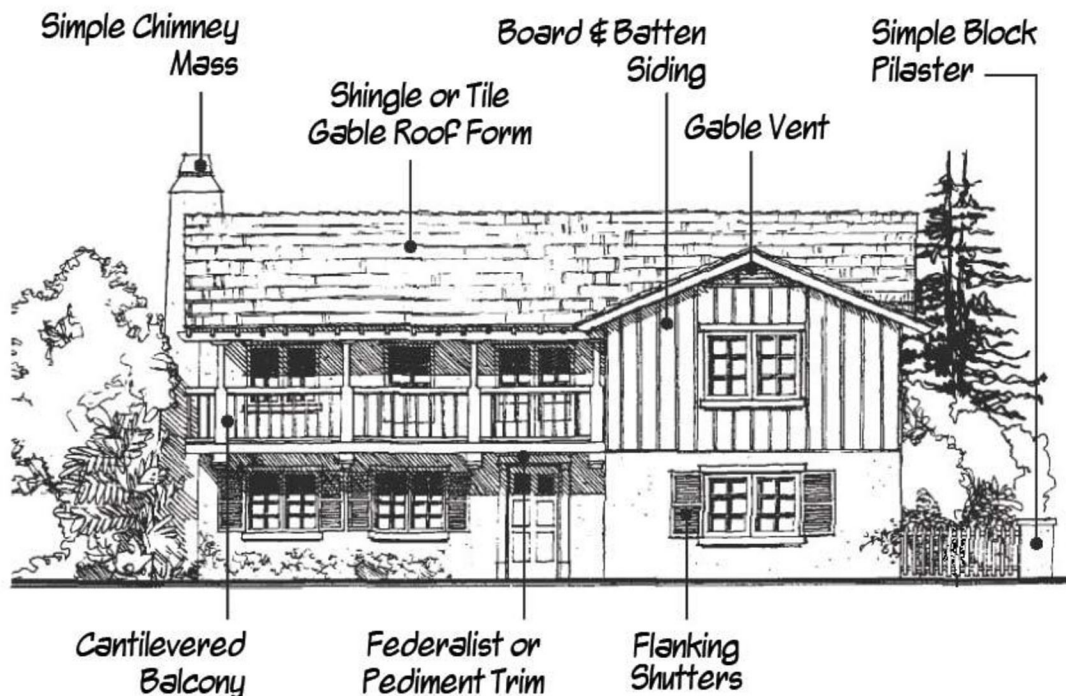
The Monterey style is a component of Mediterranean and the original Spanish-adobe construction methods. As used in these guidelines, it refers to a version of the California Adobe Style that evolved in the 1920's and 1930's based on the basic two-story New England Colonial period. Prior to this innovation in Monterey, all Spanish colonial houses in California were of single story construction.

The style was popularized by the use of simple building forms, the introduction of wood framing and the addition of second stories. Roofs featured gables or hips with broad overhangs, often with exposed rafter tails. Shutters, balconies, verandas and porches are an integral part of the Monterey character.

Monterey Design Characteristics

The design characteristics provide essentials for massing, scale and proportion, and building materials for understanding this particular style. They are:

- Balconies, verandas and porches
- Contrasting materials between first and second floors
- Exposed rafter tails



EUROPEAN COTTAGE

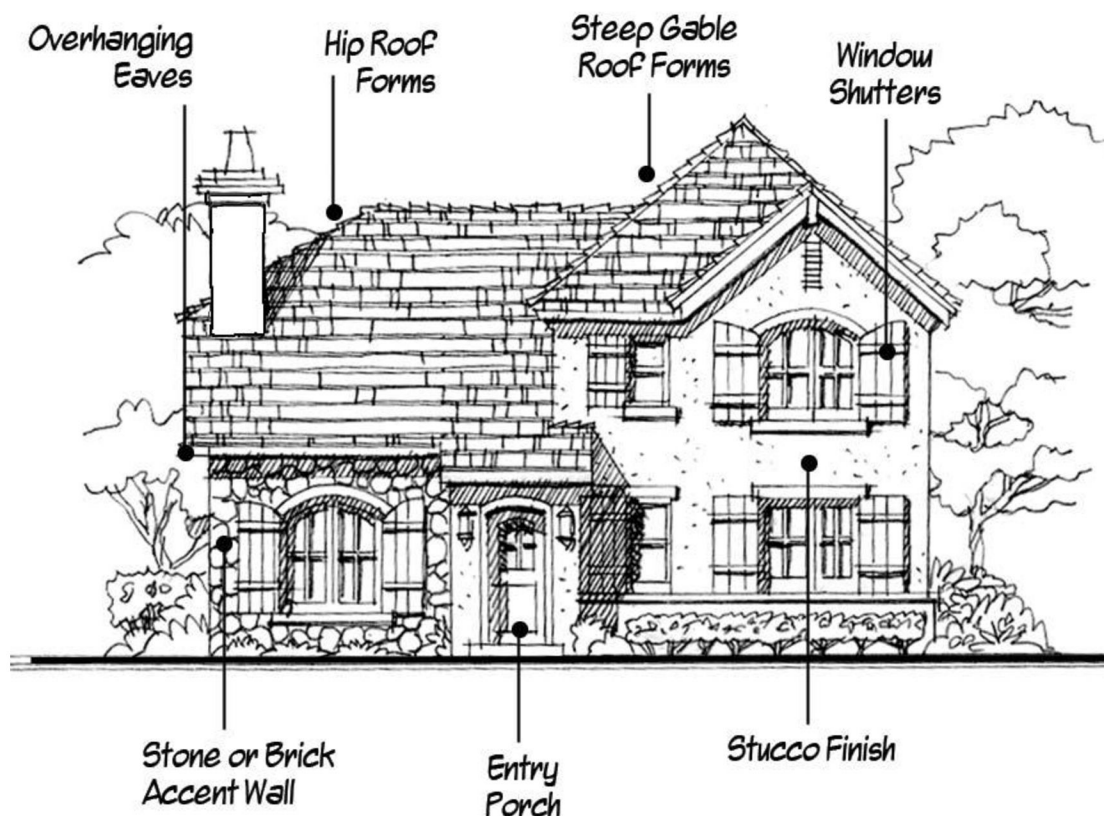
The European Cottage is a style that evolved out of the Medieval Tudor and Norman architecture. The evolving character that resulted in the English Cottage look became extremely popular when the additions of stone and brick veneer details were added in the 1920's.

Although the cottage is looked upon as small and not costly, the style was quickly recognized as one of the most popular in America. Designs for the homes typically reflected the rural setting that they evolved in. Roof pitches for these homes are steeper than traditional homes, and are comprised of gables, hips and half-hip roof forms. The primary material is stucco with heavy use of stone and brick bases, veneers and tower elements. Some of the most recognizable features for this style are the stucco accents in gable end forms and the sculptured swooping walls at the front elevation.

European Cottage Design Characteristics

The design characteristics provide the essentials for massing, scale and proportion, building materials, and details for understanding this style. They are:

- Gentle to steep roof pitches
- Projecting gable ends
- Exposed rafter tails
- Stone and brick as a major accent on wall and/or veneer base



EUROPEAN ESTATE

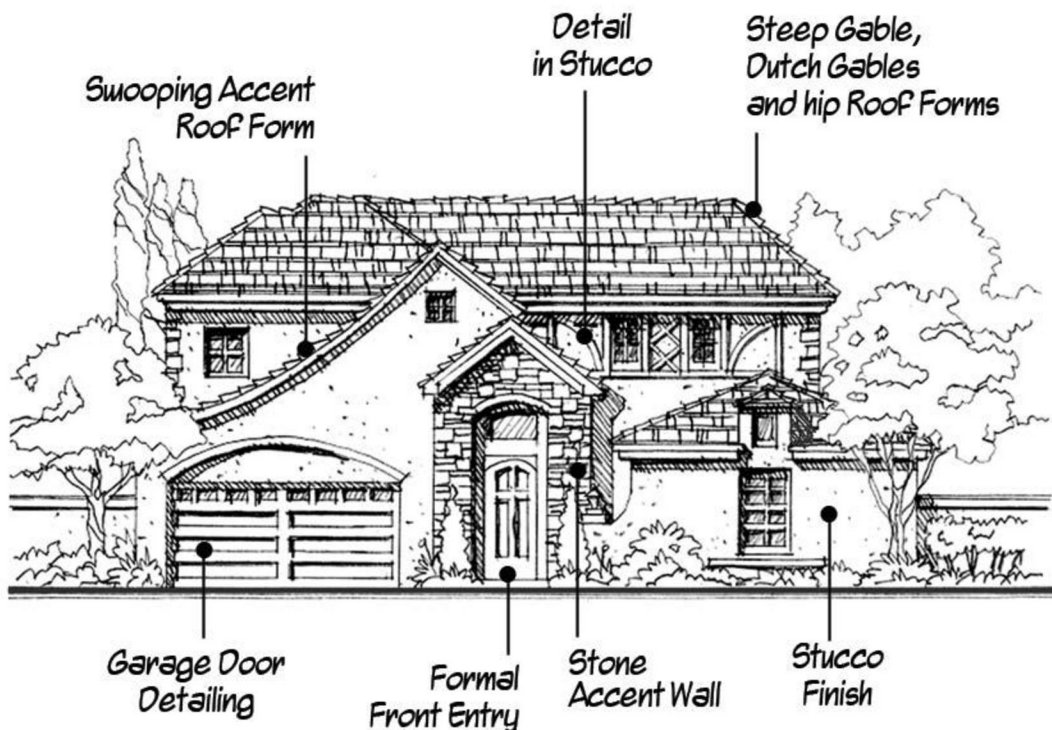
The European Estate or Revival style is a picturesque style defined from medieval English prototypes. The elements in design of steeply pitched roofs and gables blossomed in the American Eclectic expressions in the 1920's & 1930's. Many of these homes have provided a strong influence in older communities.

The overall shapes and forms contain endless variations of one and two story asymmetrical facades. Relatively uncommon at the turn of the century, this style expanded in popularity with the widespread evolution of brick and stone veneering techniques. Moreover, the period detailing allowed homes to appear real and not simulated. It is the use of brick and stone materials, often mixed, which embellishes this specific architecture.

European Estate Design Characteristics

The design characteristics provide essentials for massing, scale and proportion, and building materials, for understanding this particular style. They are:

- Steeply pitched roofs
- Gables, dutch gables and hips elements
- Eave details
- Timbering in the stucco field
- Decorative surrounds
- Stone and brick applications



ITALIANATE

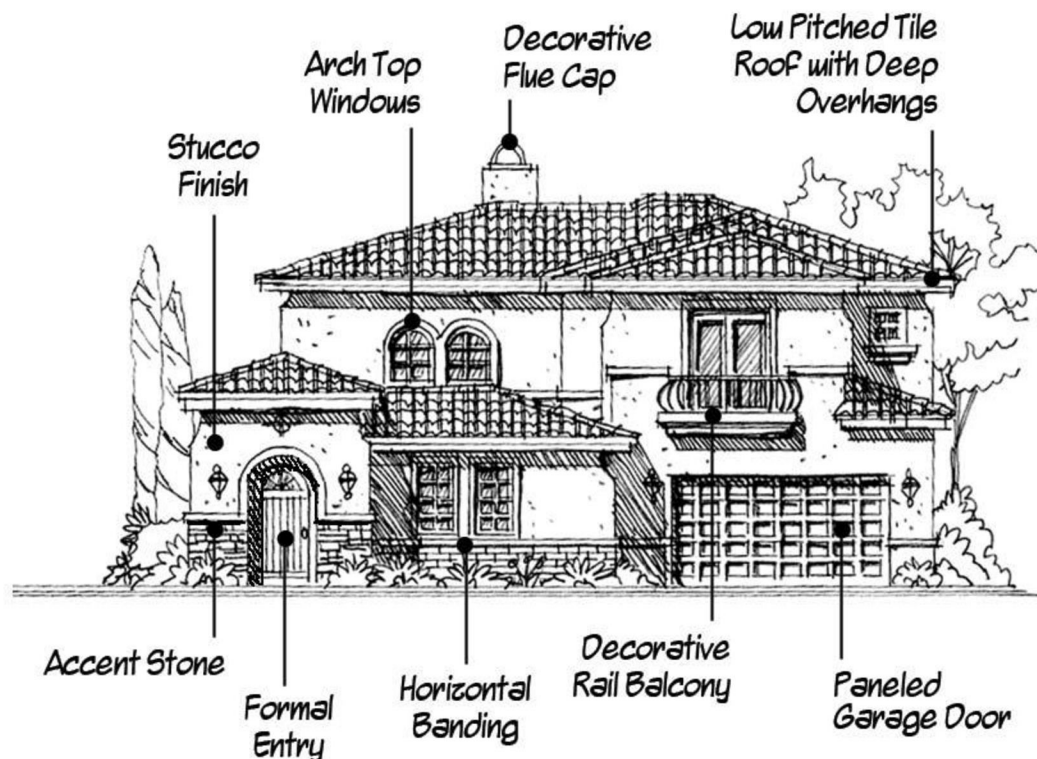
The Italianate style began as part of the picturesque movement, with its asymmetry, a shift away from a strict classical direction in art and architecture. As described by Andrew Jackson Downing in 1841, the irregularity in the masses of the edifice and the shape of the roof "rendered the sky outline of a building in this style extremely picturesque". Old World prototypes were refined, adapted and embellished, evolving into a classic revival period style.

Although the new period style generated less formality, traditional classical elements such as the symmetrical façade returned, while still using squared tower entry forms, arched windows, quoin corners and bracketed eaves persisted as the enduring traits of this style. When cast iron became a popular building material, it became a part of the Italianate vocabulary, embellishing homes with a variety of designs for porches, balconies, railings and fences.

Italianate Design Characteristics

The design characteristics provide the essentials of massing, scale and proportion, and building materials for understanding the principal concepts for this style. They are:

- Low-pitched roofs with brackets under deep overhangs
- Elaboration and detail of the windows, cornices, porches and doorways
- Cornices at eave line
- Horizontal banding and quoins as predominant elements



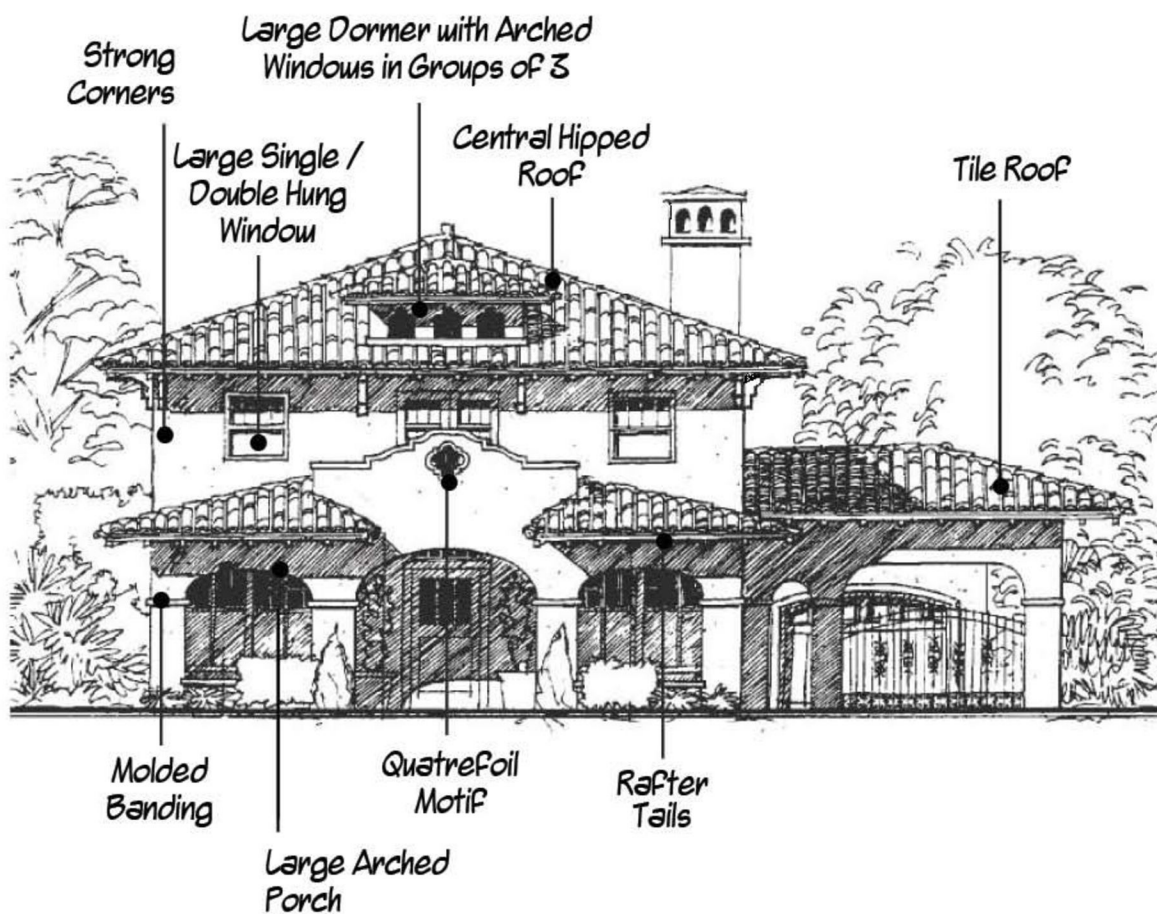
SPANISH REVIVAL

Spanish Revival style is a culmination of Spanish styles brought to a sophisticated level of interpretation in the early 1900's. Borrowing elements of detailing from Moorish, Byzantine and Renaissance architecture in Spain, Spanish Revival includes massing with the use of ornate classical elements and details at entries, arcades, windows and balconies. Although the building mass remained simple, the style exemplified sophisticated fine classical detailing.

Spanish Revival Design Characteristics

The design characteristics provide the essentials for massing, scale and proportion, building materials, and details for understanding the primary concepts for this style. They are:

- Upper story balconies and verandas with embellished trim
- Ornate detailing at entries, windows and balconies/verandas
- Stucco finish with painted detailing



OLD SANTA BARBARA

Old Santa Barbara is an adaptation of Mission Revival enriched with additional details and elements. The style attained widespread popularity after the introduction of related, more sophisticated Spanish styles.

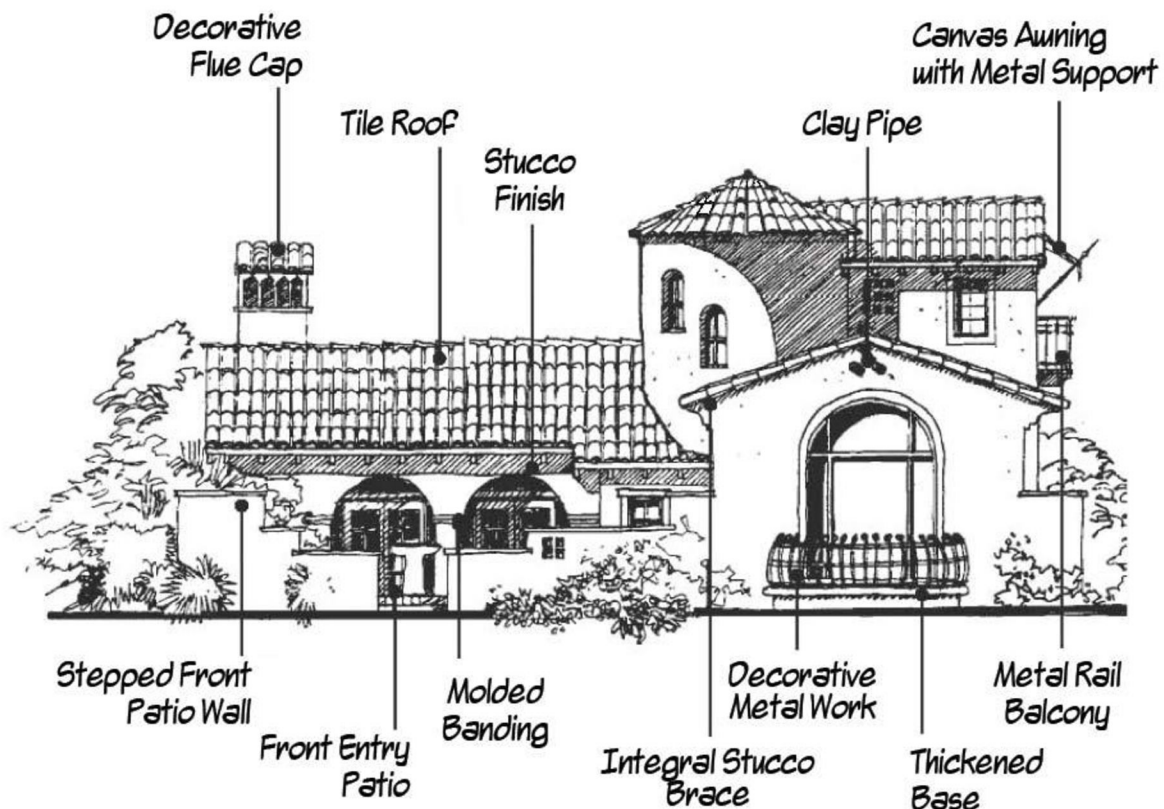
The simple courtyards of the Spanish Colonial heritage with hanging pots, a flowering garden and sprawling shade trees are typical foreground design elements. Further architectural distinction was established through the use of tile roofs, stucco walls, heavily textured wooden doors and highlighted ornamental ironwork.

Key features of this style reflect the Southern California locale. Buildings are often informally organized around a courtyard with the front elevation very simply articulated and detailed. The charm of this style lies in the directness, adaptability and contrast of materials and textures.

Old Santa Barbara Design Characteristics

The design characteristics provide essentials for massing, scale and proportion, and building materials for understanding this particular style. They are:

- Exterior arches
- Round or square exterior columns
- Wrought iron accent grates
- Balcony railings
- Accent drain tiles
- Entry courtyard walls and gates



7.4.2 MIXED USE CENTER ARCHITECTURAL DESIGN GUIDELINES

Portola Center Mixed Use Center supports neighborhood-serving commercial uses with multi-family residential units above. The Mixed Use Center is intended to function as a node of social activity and neighborhood-style commerce for the Project. The Portola Center Development Agreement permits between 10,000 and 40,000 square feet of commercial/retail uses on the ground floor with a maximum of 82 multi-family units over or attached to the commercial/retail uses within the Project's Mixed Use component.

The Mixed Use Center incorporates a residential element above the ground floor retail uses, the architectural treatment should be designed using an architecture style that is consistent throughout the site and relate to the Architectural Design section of this document. The street level of the Mixed Use Center holds the greatest potential for pedestrian use and walk-in neighborhood-serving commercial activity and, as such, the Center should foster a sense of community and provide a social gathering spot for the neighborhood. Pedestrians on sidewalks will also allow for a more focused attention to architectural and site design detail.

The Mixed Use Center in conjunction with the 5-acre Community Park will be iconic elements of the Project. Accordingly, the ultimate design of the Mixed Use Center should achieve the following design objectives:

SITE PLANNING:

- Separate insets for café tables and seating areas from vehicle areas with a landscaping buffer, a low wall, or other physical barrier.
- Incorporate bicycle racks within convenient access to building entrances.
- Screen vehicle areas from public streets with the use of landscape elements.
- Screen large bin refuse or storage containers, and other areas meant to be deemphasized (e.g. commercial loading zones, trash enclosures, etc.).
- Avoid locating large bin refuse collection or storage areas between a street and the front of a building.
- Ensure that pedestrian scale refuse containers compliment the architectural style of the Mixed Use and multi-family buildings.
- Locate commercial loading zones to ensure safe and convenient loading and unloading and to minimize disruption of vehicle travel lanes and parking areas. Screen loading areas with landscaping and/or architectural elements to deemphasize the area, where feasible.
- Locate passenger loading areas to ensure safe and convenient loading and unloading near building entrances and to minimize disruption of vehicle travel lanes and parking areas.
- Seamlessly integrate pedestrian access with the Project's enhanced pedestrian pathway and with pedestrian crossings into the Public Park.
- Emphasize the pedestrian-oriented nature of the Center by incorporating enhanced sidewalks and pedestrian paths (e.g., paving texture, stamped concrete, or pavers), tree grates, insets for café tables, and a gathering place with benches/seating that create a more complete pedestrian experience.
- Utilize landscaping, street furniture, and designated pedestrian pathways in the design of parking lots and courtyards to promote pedestrian and bicycle movement and reduce the impersonal auto-oriented expansiveness of large spaces.

BUILDING APPEARANCE:

- Incorporate staggered and variable building facades and setbacks above the ground level uses to create multiple architectural elevations. Integrate down spouts into the façade of the structure.
- Architecturally enhance primary building entrances to create dimension and establish building orientation.
- Incorporate awnings and/or arcades, where feasible.
- Ensure that pedestrian and vehicle entrances are designed with adequate sight distance to ensure safe ingress and egress and to minimize pedestrian/vehicle conflicts or vehicle collisions.
- Mount mechanical and electrical equipment, utility connections, and antennas within the interior of a building whenever practical. When interior mounting is not practical, screen mechanical equipment from view whenever possible. If the mechanical equipment is ground mounted, screen the equipment with the use of walls, fences, or landscaping compatible with the building architecture.

7.5 SITE DEVELOPMENT STANDARDS

In addition to the architectural design guidelines that apply to the various land uses in the Portola Center Project, the three major land uses—single family residential, multi-family residential, and mixed use—shall comply with site development standards that establish effective building envelopes and other site-specific development requirements to ensure that overall community design objectives and the architectural design guidelines are implemented.

7.5.1 SINGLE FAMILY RESIDENTIAL DEVELOPMENT STANDARDS

Building placement and size on a single family lot in Portola Center is effectively controlled by the setbacks, lot coverage, and building height restrictions established for each of the residential land use types within Portola Center (see Table 2-1). Table 7-1: Portola Center Residential Development Standards below contains a list of these standards for the six residential lot sizes (Neighborhoods R1-R6). These standards apply to all single family residential buildings as well as accessory uses and structures constructed in the Portola Center Project.

The standards assume typical lotting concepts, are based on standard lot dimensions for the various neighborhoods (e.g., 50'x90'), and are not intended to constrain more creative solutions to building layouts for odd shaped lots (e.g., non-perpendicular lot lines, flag lots, open space easements, etc.). Dimensions are typical minimums but may vary slightly with irregularly shaped lots and site specific conditions, provided that the minimums specified herein are met. Where Table 7-1 is silent on an issue, an appropriate standard may be established provided that it is consistent with the design guidelines contained in this Area Plan.

Additional Standards for Single Family Development

In addition to the Development Standards contained in Table 7-1 above, the following standards for single family residential neighborhoods shall also apply:

1. Skylights are permitted but they shall be designed as an integral part of the roof. Skylight glazing should be clear, solar bronze, or white. Reflective glazing is prohibited. Skylight framing material should be anodized and colored to match the roof. Exposed bare metal framing is prohibited.
2. Solar attic vent locations are permitted on the front elevation of dwelling units if the rear elevation renders the solar vent to a minimally effective state.
3. Solar panels are permitted on the front elevation of dwelling units if the rear elevation renders the solar panel to a minimally effective state.
4. Ensure that all roof flashing and sheet metal matches the roof color.
5. Ensure that all vent stacks and pipes match the adjacent roof color or wall material. Group vent stacks on the side or rear of roofs where possible and ensure that vent stacks do not extend above the roof ridgeline unless otherwise required by the California UBC.
6. Locate any television, radio, or citizen band (CB) antenna, satellite dish, or other similar electronic receiving or broadcasting device on the side or rear elevations of the building.

TABLE 7-1: PORTOLA CENTER SINGLE FAMILY RESIDENTIAL DEVELOPMENT STANDARDS

Single Family Residential Property Development Standards						
	SINGLE FAMILY RESIDENTIAL PLANNING UNITS					
DEVELOPMENT STANDARD	Conventional Single Family				Courtyards	
	R1	R2	R3	R4	R5	R6
Lot Criteria:						
Minimum Lot Area (square feet):	5000	5000	3800	3200	2700	2500
Maximum Lot Coverage (%):	Total site less required setbacks					
Minimum Lot Depth (feet):	95	95	85	80	60	45
Minimum Lot Width (feet):						
measured at setback line:	50	50	45	40	45	55
flag lot street frontage:	20	20	20	20	20	20
knuckle or cul-de-sac frontage:	20	20	20	20	20	20
at corner:	60	60	55	45	50	50
Minimum Front Yard Setback (feet) ⁽¹⁾:						
to direct street entry garage ⁽²⁾ :	5 or 18	5 or 18	5 or 18	5 or 18	5 or 18	5 or 18
to turn in entry garage:	6	6	6	6	5	5
to private court entry garage:	5 or 18	5 or 18	5 or 18	5 or 18	5 or 18	5
garage door to directly opposite garage door:	30	30	30	30	30	30
to first story from property line:	6	6	6	6	6	5
to first story from private court or motor court:	6	6	6	6	5	3
to porch from property line:	4	4	4	4	4	3
to porch from private court or motor court:	4	4	4	4	3	1
Minimum Side Yard Setback (feet):						
to adjacent residential lot ⁽³⁾ :	5	5	5	5	5	3.5
distance between primary buildings:	10	10	10	10	10	7
garage side to garage side:	10	10	10	10	10	6
aggregate total both side yards:	10	10	10	10	10	7
to property line (corner lot):	10	10	10	10	10	6
Minimum Rear Yard Setback (feet):						
to first story:	10	10	10	10	5	8
to second and third stories:	10	10	10	10	5	5
Maximum Building Height:						
main residence:	35	35	35	35	35	35
garage – single story:	18	18	18	18	18	18
garage – with residence above:	35	35	35	35	35	35
Parking (per LFMC chapter 9.168) ⁽²⁾:						
total parking required within an enclosed garage:	2/du	2/du	2/du	2/du	2/du	2/du
guest parking required:	0.2/du	0.2/du	0.2/du	0.2/du	0.2/du	0.2/du

1. The distance as measured from the abutting edge of the residential street property line fronting the lot, or from the edge of the drive aisle pavement fronting the lot in the courtyards.
2. Lake Forest Municipal Code 9.168.040 (D-1): "Those dwelling units having less than a seventeen (17) foot setback from the property line shall provide one (1) additional space within two hundred (200) feet of the dwelling." Required guest parking can be provided on-street or within designated open parking areas.
3. May be reduced to zero for zero lot line concepts.

7.5.2 MULTI-FAMILY RESIDENTIAL DEVELOPMENT STANDARDS

Building placement and site design for the Multifamily Neighborhood (R7) in Portola Center are governed by the setbacks, lot coverage, building height, and other development standards contained in Table 7-2 ("Portola Center Multi-Family Residential Development Standards"). These standards apply to all the multi-family buildings built within the Portola Center Project. Where Table 7-2 is silent on an issue, an appropriate standard may be established provided that it is consistent with the design guidelines contained in this Area Plan.

7.5.3 ACCESSORY USES & STRUCTURES DEVELOPMENT STANDARDS

Accessory Uses and Structures associated with and subordinate to a permitted principal use on the same building site are permitted subject to development standards for the single family neighborhoods as outlined in this Area Plan.

7.5.4 MIXED USE CENTER DEVELOPMENT STANDARDS & PERMITTED USES

The proposed multi-family residential units in the Mixed Use Center are located over or attached to commercial uses. 10,000 square feet of commercial/retail uses are permitted as ground floor uses on the Mixed Use site. In order to maintain the maximum flexibility, creativity, accommodation for changing lifestyles, economic conditions, consumer preferences, community desires and the ability to respond to the residential and commercial marketplaces for the Mixed Use and Multi-Family components of the Portola Center Project, the two uses may be combined as long as the number of Mixed Use residential does not exceed 82 units (per the Lake Forest General Plan Amendment 2008-02), uses comply with their underlying General Plan land use designations and zoning designations, the combined site plan has received the review and approval of the Planning Commission and the total Portola Center unit count does not exceed 930.

All site development within the Mixed-Use Center shall be subject to Site Plan approval. Building placement and site design for the Multifamily Neighborhood (R7) in Portola Center are governed by the setbacks, lot coverage, building height, and other development standards contained in Table 7-2 ("Portola Center Multi-Family Residential Development Standards"). These standards apply to all the multi-family buildings built within the Portola Center Project. Where Table 7-3 is silent on an issue, an appropriate standard may be established provided that it is consistent with the design guidelines contained in this Area Plan.

In addition to the Mixed Use Development Standards contained in this section, Table 7-4 contains a list of permitted "by right", conditionally permitted, and prohibited uses for the commercial retail space in the Mixed Use Center. A use not listed shall be subject to a use determination via by the Director of Development Services to determine substantial conformance with the purpose, intent and goals of this district and of this Area Plan. [the Director does not have a use determination process... it's a PC process] All retail sales, merchandise, equipment and the like must sold in-doors (within the interior commercial building space). The following symbols are used to denote the permissibility of various commercial uses in the Portola Center Mixed Use Center:

- "P" = Permitted "By-Right" Use
- "C" = Permitted Use subject to Conditional Use Permit (per section 9.184 of the LFMC)
- "X" = Use Not Permitted

TABLE 7-2 PORTOLA CENTER MULTI-FAMILY RESIDENTIAL DEVELOPMENT STANDARDS

DEVELOPMENT FEATURE	STANDARD
Building Site Area	Five thousand (5,000) square feet
Building Site Area per Unit	One thousand (1,000) square feet
Building Site Width	No Minimum
Building Height	45 feet maximum
Building Site Coverage	<ul style="list-style-type: none"> • Sixty (60) percent maximum, not to include garages or carports • Seventy (70) percent maximum, not to include carports and if attached garages are constructed to serve the dwelling units.
Building Setbacks	Twenty (20) feet minimum from any exterior property line, none from any interior property lines.
Distance between primary buildings	Front door to front door – twenty (20) feet minimum, all other distances - fifteen (15) feet minimum.
Distance between garage door to directly opposite garage door:	Thirty (30) feet minimum. Does not include garage doors that are offset from each other.
Patios	No attached or detached covered patio shall be located closer than zero (0) feet to a property line except the street-side property line of a corner lot, in which case a minimum distance of ten (10) feet shall be maintained.
Architectural Projections	Eaves, cornices, chimneys, outside staircases, balconies and other similar architectural features may project four (4) feet into any required front, side, or rear setback.
Off-Street Parking:	
Residential	per Section 9.168 of the LFMC
Senior Residential	1.0 space/du (includes min of 0.3 guest spaces/unit)
Disabled Parking Spaces	per California Building Code
Parking Garages	Parking Garages, Carports and Structured Parking are permitted
Garage and carport setbacks	The point of vehicular entry to a garage or carport shall be a distance of five (5) feet or less, or seventeen (18) feet or more from back of sidewalk, or if there is no sidewalk, from back of curb. Garages set back five (5) feet or less to the point of vehicular entry shall be equipped with automatic garage door openers.
Open Space	A minimum of five percent (5%) of the net area of the MF project is to be reserved as convenient, accessible and Useable Open Space (as defined in the Portola Hills PC section XIX).
Lighting	Exterior and interior lighting shall be designed and located to be directional to confine direct lighting to the premises.
Trash and Storage Area	All storage of cartons, containers and trash shall be enclosed by a building or by a wall not less than six feet in height. Trash and storage areas within 50 feet of residential units must be roofed or covered by a trellis.
Commercial Uses ⁽¹⁾	Per this Area Plan MU Development Standards
Signage	per Section 9.164 of the LFMC
Landscaping	per Section 9.144.050 LFMC
Mixture of Uses	Non Residential uses are permitted on the ground floor only. Home offices are exempt.
Waste Management	Compliance with Title 16 of the LFMC

TABLE 7-3 PORTOLA CENTER MIXED USE CENTER DEVELOPMENT STANDARDS

DEVELOPMENT FEATURE	STANDARD
Building Site Area	No minimum
Building Height	45 feet maximum
Building Setbacks from:	
MF Neighborhood R7 Site	Twenty (20) feet minimum ⁽¹⁾
Glenn Ranch Road	Fifteen (15) feet minimum
Residential Street	Ten (10) feet minimum
Off-Street Parking:	
Commercial	per Section 9.168 of the LFMC
Residential	per Section 9.168 of the LFMC
Senior Residential	1.0 space/du (includes min of 0.3 guest spaces/unit)
Disabled Parking Spaces	per Section 9.168 of the LFMC
Parking Garages	Parking garages and parking structures are permitted.
Lighting	Exterior and interior lighting shall be designed and located to be directional to confine direct lighting to the premises.
Commercial Loading	All loading operations shall be performed on the site during the hours of 7:00 a.m. and 10:00 p.m., and loading areas shall be screened by landscaping and/or an architectural feature.
Trash and Storage Area	All storage of cartons, containers and trash shall be enclosed by a building or by a wall not less than six feet in height. Trash and storage areas within 50 feet of residential units must be roofed or covered by a trellis.
Enclosed Uses	All commercial uses and their related products shall be contained entirely within a completely enclosed structure, except parking and loading areas, and except for outdoor uses expressly permitted by an approved site development plan or use permit.
Multi-family Residential	per Section 9.180.070 LFMC
Signage	per Section 9.164 of the LFMC
Landscaping	per Section 9.144.050 LFMC
Mixture of Uses	Non Residential uses are permitted on the ground floor only unless there is not a residential component on the upper floor. Residential uses are permitted only on upper floors. Residential and non-residential uses are not permitted on the same floor, home offices are exempt.
Waste Management	Compliance with Title 16 of the LFMC
⁽¹⁾ Zero (0) if the Mixed Use and Multi-Family Neighborhoods are combined.	

Additional Standards for Mixed Use Development

In addition to the Development Standards contained in Table 7-3 above, the following standards for the Mixed Use Center shall also apply:

1. A solid fence shall be used to screen the Multi-family residential planning area along the planning area boundary, having a total height of six (6) feet as measured from the finished pad elevation of the use with the highest elevation. Solid fencing shall be constructed of concrete, stone, brick or a similar type of solid masonry material a minimum of six (6) inches thick, or constructed of wood or other materials with a minimum thickness of four (4) inches forming a solid screen. *This standard does not apply in situations where the multi-family neighborhood is combined with the Mixed Use Center into a single Site Plan or Planning Unit.*
2. Parking lots shall have a minimum setback of five (5) feet from the back of sidewalks along the project Entry Street and the adjacent residential street. This setback shall be landscaped with compact evergreen plant materials or a berm/plant material combination and used as a parking lot screen with a combined height of not less than thirty-six (36) inches and shall be maintained to not exceed forty-two (42) inches.
3. Notwithstanding the requirements listed above, where the finished elevation of the property at the boundary line, or within five (5) feet inside the boundary line, is higher or lower than the abutting property elevation, such change in elevation may be used in lieu of, or in combination with additional screening to satisfy the screening requirements of this section.
4. Landscaping areas equal to at least five percent (5%) of the net usable area of the parcel are required, and a minimum of forty percent (40%) of such landscaping shall be located in the area devoted to parking.
5. Any landscaped area shall be separated from an adjacent vehicular area by a curb at least four (4) inches higher than the adjacent vehicular area or shall in some manner be protected from vehicular damage.

TABLE 7-4: MIXED USE CENTER – PERMITTED, CONDITIONALLY PERMITTED, & PROHIBIT USES

Administrative & Professional Services & General Retail Permitted by Right:	
Business & Professional Office	P
Financial Institution or Financial Services Office	P
General Retail Store or Business (unless conditionally permitted or prohibited)	P
Medical, Dental and/or Health Office	P
Real Estate Sales Office	P
Principal Uses Permitted by Right:	
Antique Store	P
Art, Music and Photographic Studio and/or Supply Store	P
Bakery - Retail	P
Barber Shop and Beauty Salon	P
Non-Motorized Bicycle Repair, Rental, & Sales Store	P
Blueprint/Reprographics/Photocopy/Printing Services	P
Books Store	P
Candy Store and Confectioner	P
Catering Services	P
Congregate care facilities serving fewer than twenty persons	P
Dry Cleaners	P
Clothing, Apparel Store	P
Day Nursery, Daycare School or Nursery School (for profit or non-profit)	P
Electronics Store, including sales and repair	P
Fitness Center and/or Health Spa	P
Florist Shop	P
Food/Neighborhood Market	P
Furniture Store	P
Hardware Store	P
Hobby Store	P
Janitorial Services/Supplies	P
Jewelry Store	P
Instructional Studios	P
Library and Museums	P
Laundrymat	P
Mail, Postage Services	P
Office Supplies Store	P
Pharmacy	P
Restaurant, café, coffee shop, delicatessen, donuts, ice cream, etc.	P
Residential – Mixed Use (over commercial or on same site as commercial)	P
Residential – Multi-Family	P
Residential - Senior Housing Attached	P
Snack Bar or Refreshment Stand Contained Within a Building	P
Stationary, cards store, shop or business	P
Swimming Pool Supply Store	P
Temporary Uses as prescribed in Temporary Use Section	P
Travel Agency	P

**TABLE 7-4: MIXED USE CENTER – PERMITTED, CONDITIONALLY PERMITTED, AND PROHIBIT USES
(CONTINUED....)**

Principal Uses Conditionally Permitted:	
Animal Clinics/Veterinary office (subject to LFMC Section 9.146)	C
Appliance store, including repair	C
Athletic and health club	C
Automobile parking lots and structures (subject to LFMC Section 9.168)	C
Churches, temples and other places of worship	C
Cinemas and theaters	C
Civic and Government Uses	C
Commercial recreation facilities not otherwise listed	C
Congregate care facilities serving twenty or more persons	C
Educational institution	C
Motorcycle sales and services, including motorized bicycles	C
Nursery or garden supply store in enclosed area	C
Pet store, supplies	C
Pet grooming services	C
Residential – Single Family Attached or Detached	C
Restaurants – Fast Food (with no drive-in or drive-through)	C
Restaurant with entertainment and serving alcoholic beverages	C
Sign painting shop	C
Wireless communication facilities (Minor) (subject to LFMC Section 9.162)	C
Home Occupations:	
Home occupations (subject to the Home Occupations Section of the LFMC)	P
Temporary Uses:	
Commercial Coaches (subject to section 9.144 of the LFMC)	P
Christmas tree sales (subject to section 9.144 of the LFMC)	P
Halloween pumpkin sales (subject to section 9.144 of the LFMC)	P

"P" = Permitted "By-Right"

"C" = Permitted Subject to Conditional Use Permit (per LFMC Sec. 9.184)

"X" = Use Not Permitted

**TABLE 7-4: MIXED USE CENTER – PERMITTED, CONDITIONALLY PERMITTED, AND PROHIBIT USES
(CONTINUED....)**

Prohibited Uses:	
Adult entertainment businesses, stores	X
Arcade and electronic games	X
Automobile body and paint shops	X
Automobile, motorcycle and/or truck sales, parts, service, rentals, car wash	X
Automobile/truck/motorcycle wrecking, junk and salvage yards	X
Cabaret	X
Cocktail lounge, bar or tavern, including, related entertainment	X
Contractor's storage and equipment yards, work fabricating areas	X
Equipment rental	X
Fast food restaurants with drive-in or drive-through	X
Feed and tack store (no outside storage) (subject to LFMC Section 9.416)	X
Gasoline service station	X
General Industrial uses	X
Gun & Ammunition Sales	X
Helispots, heliports	X
Hospitals	X
Hotel or motel	X
Kiosk, including photo sales, located in parking lot	X
Kennels	X
Liquor store	X
Medical Marijuana Services / Establishment / Production	X
Medical Marijuana paraphernalia / marijuana paraphernalia / head shops	X
Mini Storage facilities	X
Mortuary and crematories	X
Parking facilities (commercial)	X
Pawn Shops	X
Recycling drop-off bins	X
Tire sales and service	X
Welding Shops and metal plating	X
Wireless Communication facility (Major) per section 9.162 LFMC	X

"P" = Permitted "By-Right"

"C" = Permitted Subject to Conditional Use Permit (per LFMC Sec. 9.184)

"X" = Use Not Permitted

7.6. COMMUNITY WALLS & FENCES DESIGN GUIDELINES

Community walls and fencing must be aesthetically pleasing and provide continuity in design to unify the various architectural styles as a single community theme. Walls and fences located throughout Portola Center will be consistent with the community design theme while providing screening, sound attenuation, security, and containment. Please see Exhibits 7-8 and 7-9 ("Portola Center North & South Walls and Fences Plan") below for the layout of the different wall types in the Project and Exhibit 7-10 ("Portola Center Community Walls and Fences") for conceptual elevations of the various community wall and fences. Following is a description of the various theme walls and fences for Portola Center:

Glenn Ranch Road Theme Wall: The Glenn Ranch Road Theme Wall is a multi-piece wall system simulating a stacked stone appearance. This wall will be used as a five foot high retention wall along the northern side of the Aliso Serrano Regional Riding and Hiking Trail (Equestrian Trail) within the Glenn Ranch Road right-of-way.

Community Theme Solid Wall: The Community Theme Solid Wall is a six-foot high wall made of a lightly colored split-faced concrete block and can be used for vegetation anchoring. These walls may be higher than six feet if required for privacy, sound attenuation or sloped condition with a Site Development Permit approval. The pilasters are split faced concrete block placed at the beginning and the end of the community wall, and spaced as determined by the detailed neighborhood landscape plans, but no further than one hundred thirty feet apart and having a beveled concrete cap.

Side Yard Fencing: Side Yard Fencing is a six-foot-high wall that is located in the rear portion of the side yard section of a single family lot, not adjacent to a public street and used to define the individual lot boundaries. These walls may be higher than six feet if required for privacy or sloped condition with approval of a Site Development Permit. Side yard fencing can be made of standard lightly colored concrete block, stained wood fencing, or plastic or similar material pre-manufactured fencing. Side yard walls abutting and visual from a residential street on a corner lot shall be considered a Community Theme Wall.

Open Theme View Wall: The Open Theme View Wall is a six-foot high wall consisting of a lightly colored split-faced concrete block beveled concrete capped pilaster at each intersecting property line. Between the pilasters the wall consists of six foot high open wrought iron fencing. Optionally, a low two-foot high split-faced block wall runs horizontally between the pilasters with wrought iron fencing on top to a height of six feet.

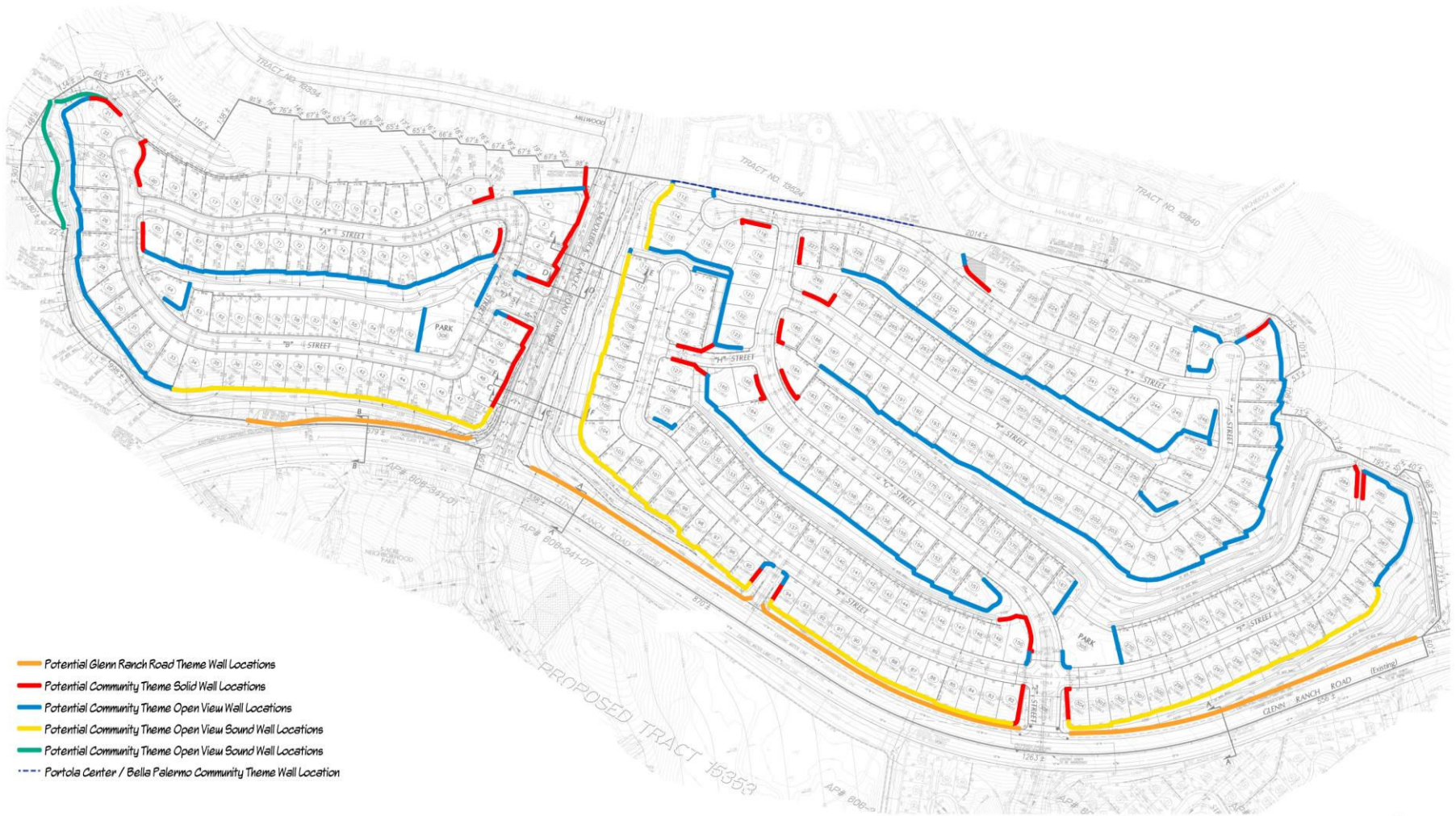
Open View Sound Wall: The Open View Theme Sound Wall is a six-foot high wall consisting of a lightly colored split-faced concrete block beveled concrete capped pilaster at each intersecting property line. The wall between the pilasters is filled in to a height of six feet with high impact resistant clear panels. Optionally, a low two-foot high split-faced block wall runs horizontally between the pilasters with impact resistant clear panels on top to a height of six feet.

Rural Style Equestrian Fence: The Rural Theme Fence is a four-foot-high fence that consists of three wooden, composite, plastic, or similar material pre-manufactured horizontal rails, attached to wood, composite, plastic or similar material pre-manufactured vertical four-inch by four-inch posts, spaced every eight or ten feet. This fence is reminiscent of the early California equestrian ranch fences and will be used along the trail to the north of Glenn Ranch Road. This fence will be added between the existing sidewalk and the existing Aliso Serrano Regional Riding and Hiking Trail which is the Equestrian Trail within the Glenn Ranch Road right-of-way.

Post & Rail Style Trail Fence: The Post & Rail Trail Fence is a 36-inch-high open rail fire resistant wood fence that consists of three wooden horizontal rails, attached to wooden vertical four-inch by four-inch posts, spaced every eight or ten feet. This fence will be added along the Perimeter Trail where the trail traverses the Project's ridgeline perimeter areas above the MSE retaining walls on the southwest and southeast portions of the Project site.

In addition to the various theme walls, the Project includes the use of conventional concrete block retaining walls. Concrete block retaining walls (other than the MSE retaining walls) shall be made of a lightly colored split-faced concrete block on the outward facing side. Concrete block retaining walls that are located in the back yard section of a single family lot or within the multi-family Neighborhoods that are not adjacent to a public street, or the neighborhood park may be made of a lightly colored concrete block. Concrete block retaining walls that are located within the Neighborhood Park or Pedestrian Parks shall be considered Community Theme Solid Walls. Walls and fences in the single family and multi-family Neighborhoods which are located within the front yard section of the lot, or adjacent to the public street, shall be designed and placed according to the following guidelines:

- Walls should be made of a surface material that is consistent with any adjoining wall material compatible with the design of the neighborhood area.
- Walls should be broken by visual relief through the use of a curvilinear design or by periodically constructing pilasters. Property Line walls are exempt.
- Landscaping, such as trees, shrubs or evergreen vines, should be used to soften the appearance of the wall whenever possible.
- Combined solid fencing or walls, walks and open fencing may be used to create interest. Masonry walls are required only where necessary for noise attenuation or soil retention.
- Walls which serve as a subdivision exterior boundary should be six feet in height from the highest finished grade, but may be higher if required for privacy or sloped condition with Site Development Permit approval.
- Walls used as rear or side yard walls should be constructed up to six feet in height, but may be higher if required for privacy or sloped condition with a Site Development Permit approval.
- Sound wall fencing, (solid concrete block or open view walls with impact resistant clear type panel to maintain views) where required, should be used to mitigate adverse noise impacts on residential units.

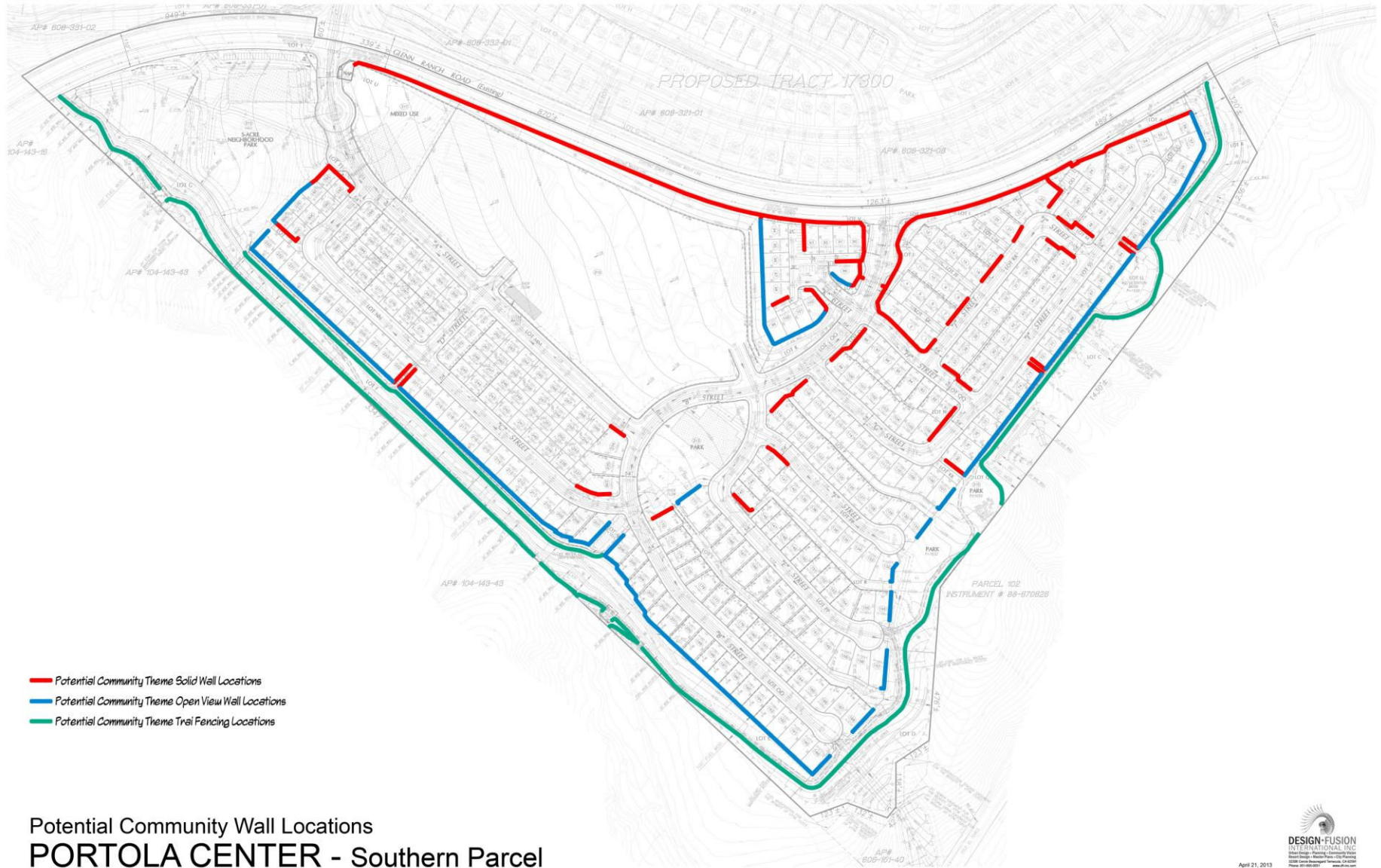


- Potential Glenn Ranch Road Theme Wall Locations
- Potential Community Theme Solid Wall Locations
- Potential Community Theme Open View Wall Locations
- Potential Community Theme Open View Sound Wall Locations
- Potential Community Theme Open View Sound Wall Locations
- - - Portola Center / Bella Palermo Community Theme Wall Location

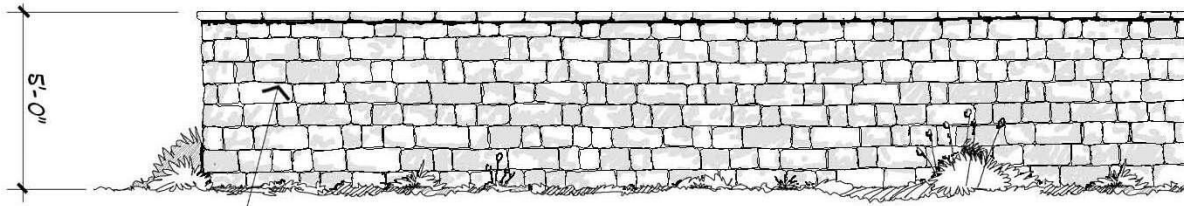
Potential Community Wall Locations
PORTOLA CENTER - Northern Parcels



Exhibit 7-10
Portola North Community Walls and Fences Plan

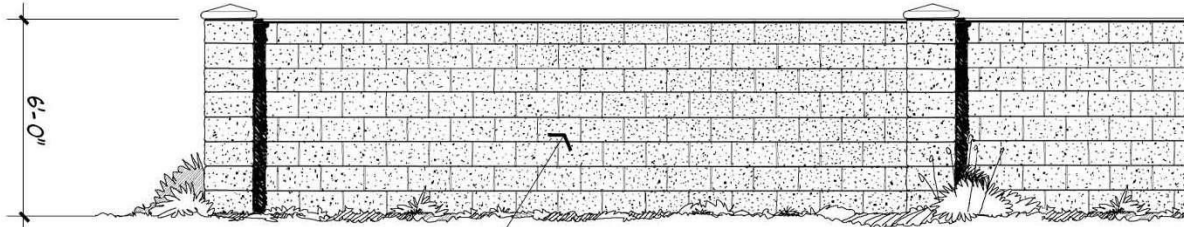


**Exhibit 7-11
Portola South Community Walls and Fences Plan**



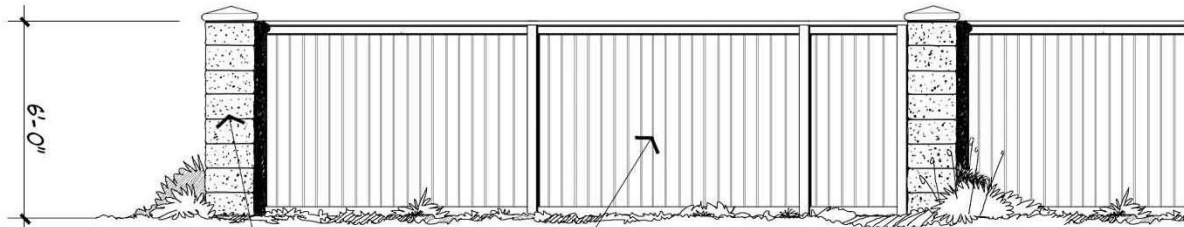
● Manufactured Multi-Piece Wall System

Glenn Ranch Road Theme Wall



● Split Face Concrete Block

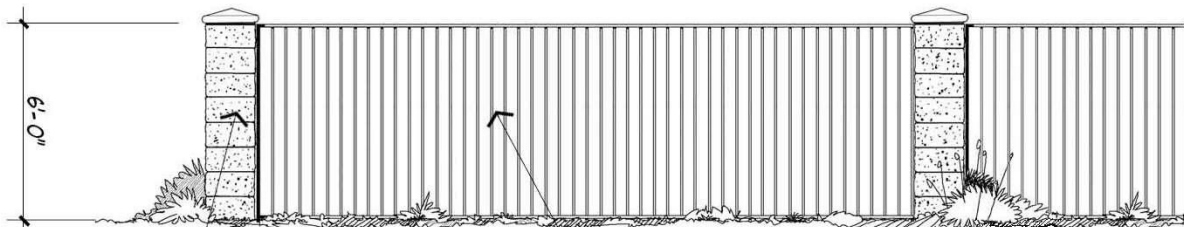
Community Theme Solid Wall



● Split Face Concrete Block Columns

● Stained Wood Fencing

Side Yard Fencing

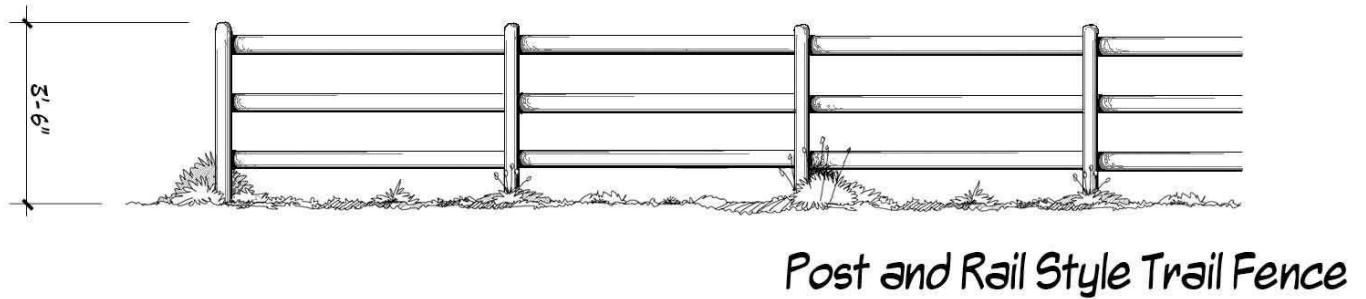
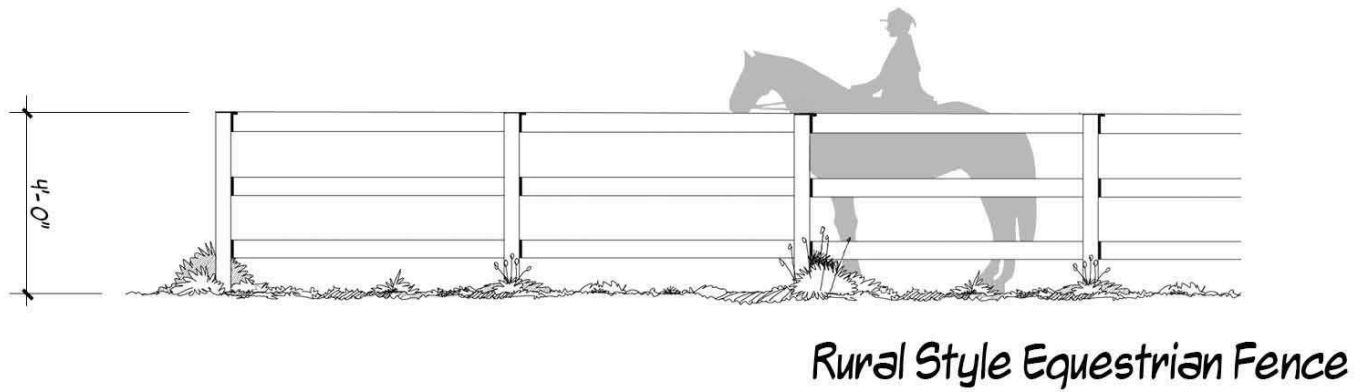
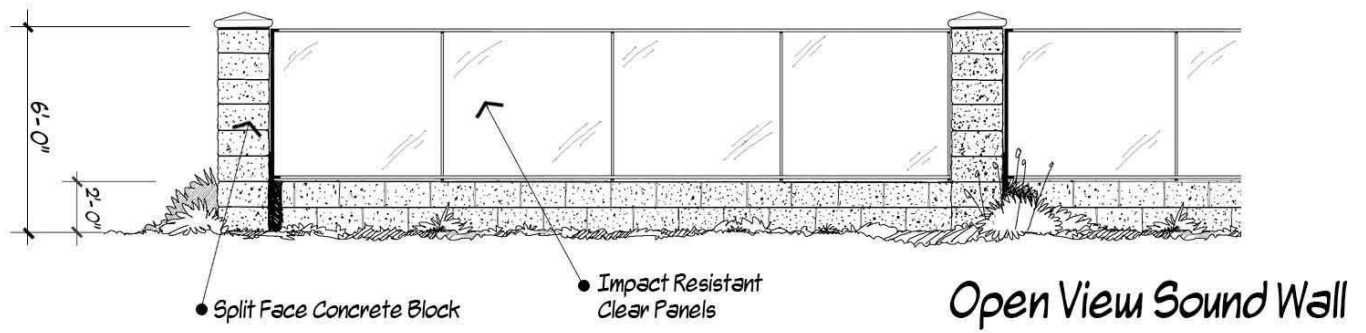


● Split Face Concrete Block

● Wrought Iron

Open Theme View Wall

**Exhibit 7-12
Portola Center Walls and Fences**



**Exhibit 7-10 (Continued...)
Portola Center Walls and Fences**

7.7 PARKING AREA DESIGN GUIDELINES

The following guidelines apply to the Mixed-Use Center, Multi-family Residential Neighborhood, and 5-acre Community Park parking lot areas:

- Off-street parking facilities shall be designed so that vehicles need not enter a street to move from one location to any other location within the same parking facility.
- Off-street parking facilities shall be constructed in such a manner so that any vehicle on the property will be able to maneuver and exit from the property by traveling in a forward direction.
- Curbs or raised planters shall be provided in all parking lot areas abutting a sidewalk, street, building or alley so that car bumpers do not overhang the pedestrian travel way or strike the building. Instead of using pre-cast concrete wheel stops, extending the planter may be used.
- Parking areas shall be designed so that pedestrians walk parallel to moving cars. Designs should minimize the need for pedestrian to cross parking aisles.
- The parking areas shall be linked to the street sidewalk system and buildings. This can be accomplished by using design features such as walkways with enhanced paving, trellis structures, and/or landscaping treatments.
- Service structures for commercial docking shall be located to the rear of buildings whenever possible.
- Pedestrian and vehicular entrances shall be clearly identified to minimize pedestrian/vehicle conflict. Special paving at parking entries shall be used to soften the parking streetscape.
- When parking is located adjacent to a public street, a combination of landscaped berms and/or planters shall be used to screen views of parked cars.
- Plant materials used as screening shall be of a compact, evergreen type with a minimum screening height of thirty six (36) inches and a minimum width of two (2) feet at maturity.

7.8 STREET FURNITURE DESIGN GUIDELINES

For purposes of this Area Plan, two categories of street furniture are defined: community design-oriented street furniture such as street lights, tables, benches, and trash receptacles that impart a functional purpose but which are also meant to fit with the overall aesthetic feel and design of the community; and utility-based street furniture which is meant to be primarily functional and typical lacks aesthetic appeal. Two principal design considerations should be evaluated in regard to these two categories of street furniture. The first is their aesthetic appeal or their contribution to the overall design objectives of the community. The second is their proximity and/or relationship to the public space, such as sidewalk, paseos, and plazas. The two categories of street furniture and the design considerations that apply in each case are further detailed below.

1. Community design-oriented street furniture includes street lighting or lamps, bollards, café tables, benches, seating, public trash/recycling receptacles, fountains, sculptures, public art, bicycle racks or lockers, railings and safety fencing, etc. Street furniture in this category is generally designed with an emphasis on aesthetic appeal and public use. Because it is located for easy public access, the design of street furniture in this category should be of a high quality design appropriate for the overall residential setting of the Project and should complement the aesthetic qualities created by the Project's other design elements. These pieces of street furniture must also be accessible, functional, and must not clutter or interfere with the use of the public space.
2. Utility-based street furniture includes traffic signals, fire hydrants, mail boxes, utility company boxes, sprinkler and traffic signal control boxes, above-ground electric, gas, and water utility infrastructure, etc. In the majority of cases, this group of street furniture is designed for functionality, ease of maintenance, and service longevity. This group of street furniture can be intrusive because of its size or placement requirements, which may detract from the aesthetic quality from its surroundings. The often conflicting requirements of the project designer and service providers necessitate close coordination and cooperation with regard to the installation of these types of street furniture. Techniques including landscape screening, construction of a facade, use of neutral or complimentary colors, and under-grounding.

7.9 COMMUNITY SIGNAGE & ADVERTISING GUIDELINES

Signage within Portola Center shall be governed by the regulations of the City of Lake Forest Sign Code. Signage within Portola Center should also exhibit compatibility with the architectural theme and other community design features of its surroundings. Retail signage should be oriented to the pedestrian. Awnings and window signs are encouraged to provide a variety of visuals within the Mixed Use Center. Signage and graphics should functionally communicate information while fitting aesthetically into the Project's architectural theme. The signage graphics system should be a simple and coordinated signage system, and contribute to the overall design unity and identity of the Project. The retail and directional signage of the Mixed Use Center should complement the other streetscape elements while directing the public to their destinations within the Center.

Building, business and retail identification signs should state the name and address number of the building/business. Each retail use/business is allowed to display one sign on the building face, except in the case where a business is located at the corner of the building. In that case, one sign is permitted on each of the two (2) sides of the building face fronting the street. Signs should offer design integrity and individuality, but may not impede on the overall quality of the Mixed Use Center. Signs within the adjoining Neighborhood Park should follow a similar style as the Mixed Use Center.

In addition to the design guidelines above, the following restrictions apply to signage and advertising in Portola Center:

1. No signage or other forms of advertising shall be permitted on street furniture, in residential neighborhoods, or in the public space with the exception of the Mixed Use Center subject to the guidelines above, permanent community and neighborhood monuments, and temporary signs in compliance with the City of Lake Forest Sign Ordinance.
2. No signage shall be allowed to be painted directly on to the building face.
3. Retail signs shall not be located above the ground floor building eave or ground floor plate line.

4. Neon, bright lighting and flashing signs are prohibited.
5. The sizes of the building/ business identification signage should not exceed twelve inches (12") in letter or number height.
6. No signage shall exceed twenty (20) square feet in area. Logos are preferred over lettering in identifying buildings and/or businesses.
7. All mixed use building, retail, and or business identification signage must be approved by the City of Lake Forest's Development Services Department Planning Division.